

ORDINANCE NO. 07-012

ORDINANCE OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF HIALEAH, FLORIDA APPROVING AND ADOPTING THE URBAN DESIGN PLAN FOR THE NBD NEIGHBORHOOD BUSINESS DISTRICT AND PROVIDING THAT A COPY OF THE URBAN DESIGN PLAN SHALL BE FILED IN THE OFFICE OF THE CITY CLERK FOR PUBLIC INSPECTION AND REFERENCE; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; PROVIDING PENALTIES FOR VIOLATION HEREOF; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Board at its meeting of January 10, 2007 recommended approval of this ordinance; and

WHEREAS, the Urban Design Plan prepared by Jaime Correa and Associates, Architects, is intended to provide architectural guidelines for each of the five geographic areas within the NBD Neighborhood Business District, including diagrams, building types, building uses, parking layouts and typical floor plans, to guide developers and property owners for future development in the NBD Neighborhood Business District.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF HIALEAH, FLORIDA, THAT:

Section 1: The Mayor and the City Council of the City of Hialeah, Florida hereby approve and adopt the Urban Design Plan for the NBD Neighborhood Business District, a copy of which shall be filed in the Office of the City Clerk for public inspection and reference.

Section 2: Repeal of Ordinances in Conflict.

All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

Section 3: Penalties.

Every person convicted of a violation of any provision of the Code or any ordinance, rule or regulation adopted or issued in pursuance thereof shall be punished by a civil penalty not to exceed \$500.00 within the discretion of the court or administrative tribunal having jurisdiction. Each act of violation and each day upon which any such violation shall occur shall constitute a separate offense. In addition to the penalty described above, the City may pursue other remedies such as abatement of nuisance, injunctive relief, administrative adjudication and revocation of licenses or permits.

Section 4: Severability Clause.

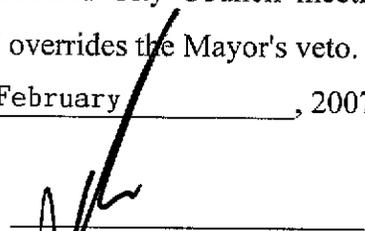
If any phrase, clause, sentence, paragraph or section of this ordinance shall be declared invalid or unconstitutional by the judgment or decree of a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of this ordinance.

Section 5: Effective Date.

This ordinance shall become effective when passed by the City Council and signed by the Mayor or at the next regularly scheduled City Council meeting, if the Mayor's signature is withheld or if the City Council overrides the Mayor's veto.

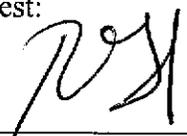
PASSED and ADOPTED this 13th day of February, 2007.

THE FOREGOING ORDINANCE
OF THE CITY OF HIALEAH WAS
PUBLISHED IN ACCORDANCE
WITH THE PROVISIONS OF
FLORIDA STATUTE 166.041
PRIOR TO FINAL READING.



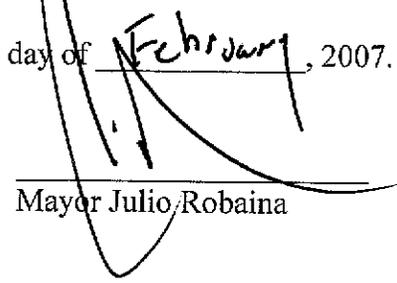
Esteban Bovo
Council President

Attest:



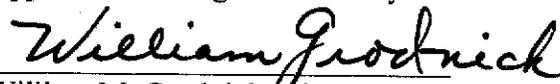
Rafael E. Granado, City Clerk

Approved on this 15 day of February, 2007.



Mayor Julio Robaina

Approved as to legal sufficiency and form:



William M. Grodnick, City Attorney

s:\wmg\legis\ord-2006\NBDurbanesignplan.doc

Ordinance was adopted by a 5-1-0 vote with Councilmembers Bovo, Caragol, Casals-Muñoz, Hernandez, and Yedra voting "Yes", Councilmember Miel voting "No" and Councilmember Gonzalez absent.

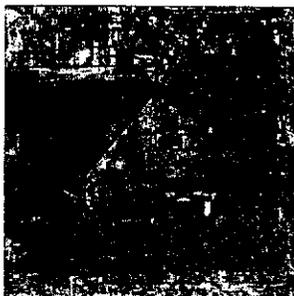
CITY OF HIJALJEAN NEIGHBORHOOD BUSINESS DISTRICT

⊕ JIMIE CORREA AND ASSOCIATES
I have and have had my...
S 1515 N.W. 43rd Street, Miami, Florida 33142
Tel: 305 298-3100 Fax: 305 298-3100
www.jimiecorrea.com

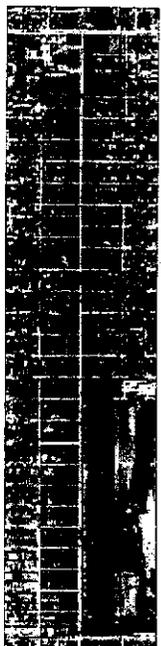
AREA 1

AREA DESCRIPTION

SHALL COMPRISE THE PROPERTIES FRONTING PALM AVE WITH 49TH ST AS THE NORTHERN BOUNDARY AND THE FCC TRACKS ON 21ST ST AS THE SOUTHERN BOUNDARY

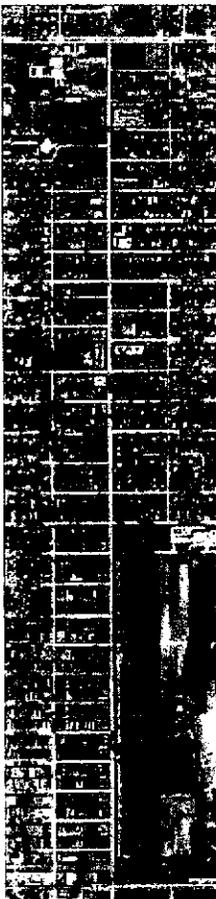


GENERAL FRONTAGES

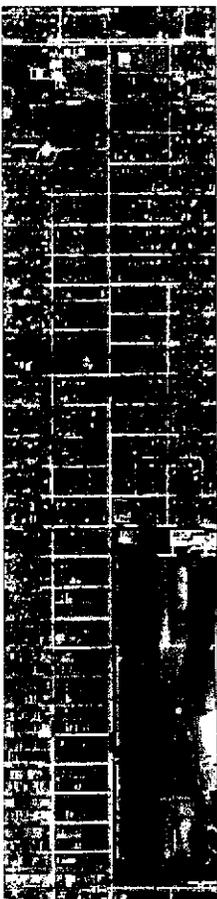


FRONTAGE LOCATION

ARCADED STREET FRONTAGE:



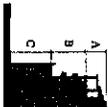
NON-ARCADED STREET FRONTAGE:



NOTES

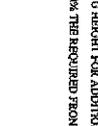
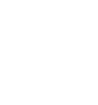
SEE FRONTAGE CONDITIONS FOR GENERAL FRONTAGE STRUCKS / BUILD TO LINE REQUIREMENTS
SEE BUILDING HEIGHT FOR ADDITIONAL SPECIFICS

BUILDING FRONTAGES



A = 40' MIN FRONTAGE
B = 60' MIN FRONTAGE
C = 100' MIN FRONTAGE
(SEE BUILDING HEIGHT)

AREA 1 - SPECIAL CONDITIONS

MID-BLOCK	ENTRANCE	CORNER	T-STREET ARCADED	T-STREET WITH PARK	T-STREET
 <p>LOCATION: 1. Palm Ave & E 42nd St 2. Palm Ave & E 43rd St 3. Palm Ave & E 44th St 4. Palm Ave & E 45th St 5. Palm Ave & E 46th St 6. Palm Ave & E 47th St 7. Palm Ave & E 48th St 8. Palm Ave & E 49th St 9. Palm Ave & E 50th St</p>	 <p>LOCATION: 1. Palm Ave & E 42nd St 2. Palm Ave & E 43rd St 3. Palm Ave & E 44th St 4. Palm Ave & E 45th St</p>	 <p>LOCATION: 1. Palm Ave & E 42nd St 2. Palm Ave & E 43rd St 3. Palm Ave & E 44th St 4. Palm Ave & E 45th St 5. Palm Ave & E 46th St 6. Palm Ave & E 47th St 7. Palm Ave & E 48th St 8. Palm Ave & E 49th St 9. Palm Ave & E 50th St</p>	 <p>LOCATION: 1. Palm Ave & E 42nd St 2. Palm Ave & E 43rd St 3. Palm Ave & E 44th St</p>	 <p>LOCATION: 1. Palm Ave & W 31st St 2. Palm Ave & W 32nd St 3. Palm Ave & W 33rd St 4. Palm Ave & W 34th St 5. Palm Ave & W 35th St 6. Palm Ave & W 36th St 7. Palm Ave & W 37th St 8. Palm Ave & W 38th St 9. Palm Ave & W 39th St 10. Palm Ave & W 40th St</p>	 <p>LOCATION: 1. Palm Ave & W 40th St 2. Palm Ave & W 41st St 3. Palm Ave & W 42nd St 4. Palm Ave & W 43rd St 5. Palm Ave & W 44th St</p>

SEE BUILDING HEIGHT FOR ADDITIONAL SETBACKS.

A MAX OF 50% THE REQUIRED FRONT & LATERAL SETBACKS MAY BE ENCROACHED IN ALL CORNER CONDITIONS.

AREA 2

AREA DESCRIPTION

SHALL COMPRISE THE PROPERTIES FRONTING EAST 4TH AVE WITH 40TH ST AS THE NORTHERN BOUNDARY AND THE PEC TRACKS ON 21ST ST AS THE SOUTHERN BOUNDARY



GENERAL FRONTAGES

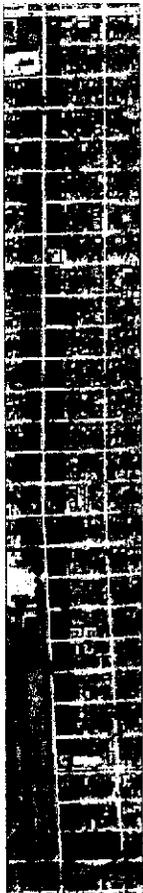


FRONTAGE LOCATION

ARCADED STREET FRONTAGE:



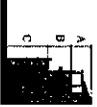
NON-ARCADED STREET FRONTAGE:



NOTES

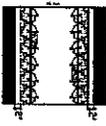
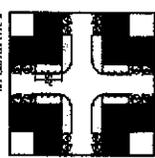
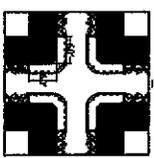
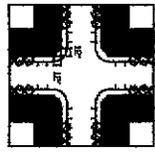
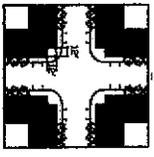
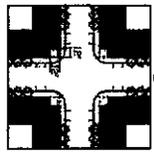
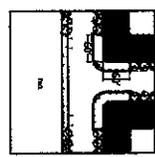
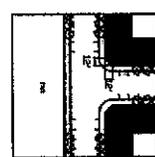
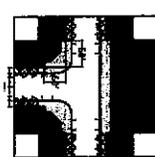
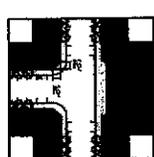
SEE EXISTING CONDITIONS FOR GRADING, EROSION CONTROL, AND OTHER REQUIREMENTS. SEE BUILDING PERMIT FOR ADDITIONAL SPECIFICS.

NOTING LOCATIONS



A - 40' N. SIDE FRONTAGE
 B - 40' N. SIDE FRONTAGE
 C - 100' N. SIDE FRONTAGE
 (SEE BUILDING PERMIT)

AREA 2 - SPECIAL CONDITIONS

MID-BLOCK	ENTRANCE	CORNER	T-STREET ARCADED	T-STREET WITH PARK	T-STREET
 <p>LOCATION: 1. All mid-block locations - 12 ft truck load zone and a 7 ft truck load zone.</p>	 <p>MAX ARCADE • 20' MIN TO 60'</p>  <p>MAX ARCADE • 20' MIN TO 60'</p> <p>LOCATION: 1. Frontage Way & E 49th St 2. Frontage Way & E 41st St 3. Frontage Way & E 37th St 4. Frontage Way & E 33rd St</p>	   <p>LOCATION: 1. Frontage Way & E 49th St 2. Frontage Way & E 44th St 3. Frontage Way & E 40th St 4. Frontage Way & E 36th St 5. Frontage Way & E 32nd St 6. Frontage Way & E 28th St 7. Frontage Way & E 24th St 8. Frontage Way & E 20th St 9. Frontage Way & E 16th St 10. Frontage Way & E 12th St 11. Frontage Way & E 8th St 12. Frontage Way & E 4th St 13. Frontage Way & E 3rd St 14. Frontage Way & E 2nd St</p>	 <p>LOCATION: 1. Frontage Way & E 29th St</p>	 <p>LOCATION: 1. Frontage Way & E 48th St 2. Frontage Way & E 44th St 3. Frontage Way & E 40th St 4. Frontage Way & E 36th St 5. Frontage Way & E 32nd St 6. Frontage Way & E 28th St 7. Frontage Way & E 24th St 8. Frontage Way & E 20th St 9. Frontage Way & E 16th St 10. Frontage Way & E 12th St 11. Frontage Way & E 8th St 12. Frontage Way & E 4th St 13. Frontage Way & E 3rd St 14. Frontage Way & E 2nd St</p>	  <p>LOCATION: 1. Frontage Way & E 39th St</p>

-SEE BUILDING HEIGHT FOR ADDITIONAL SETBACKS.
 -A MAX OF 50% THE REQUIRED FRONT & LATERAL SETBACKS MAY BE ENCROACHED IN ALL CORNER CONDITIONS.

AREA 2 - NON-ARCADED FRONTAGE

FRONTAGE LOCATION



NOTES

BUILDING USE

- NON RESIDENTIAL SPACES MIN 12 FT FINISHED FLOOR TO FINISHED CEILING
- RESIDENTIAL SPACES MIN 9 FT FINISHED FLOOR TO FINISHED CEILING
- AUXILIARY SPACES ENCROACH FROM FLOOR HEIGHT REQUIREMENTS (E.G. BATHROOMS, KITCHENS, CLOSETS, ETC.)
- ADDITIONAL SETBACKS SHALL APPLY TO ALL FRONT, LATERAL, AND REAR SETBACKS



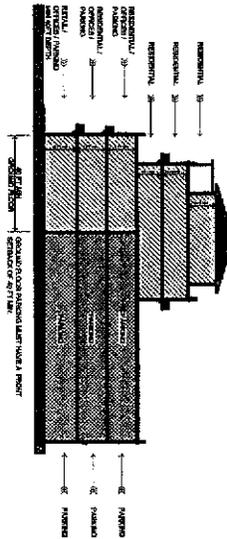
ENCROACHMENTS

- AWNINGS MUST HAVE A DISHED DESIGN AND SHALL ENDOACH A MAX OF 4 FT.
- BALCONIES SHALL NOT BE ROOFED, UNLESS AS PART OF AN UNHEID DESIGN ARE ALLOWED

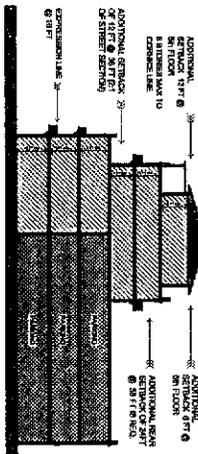
PARKING

- NO PARKING ALLOWED ON FRONT OR LATERAL SETBACK
- SHOULD THE PROJECT NOT COMPLY WITH THE CITY'S PARKING REQUIREMENTS FOR AVOIDED USE BUILDINGS, A DEVELOPMENT FEE EQUIVALENT TO \$1,500 PER EACH PARKING SPACE MISSING SHOULD BE PAID BEFORE A FINAL BUILDING PERMIT IS ISSUED BY THE CITY OF HUALAHI, AFTER A PARKING VARIANCE IS APPROVED
- THE FACADE OF THE PARKING GARAGE SHALL HAVE A BALTOO OF 70% SOLID TO VOID WITH APPLIED ARCHITECTURAL EXPRESSIONS.
- SEE URBAN DESIGN & ZONING PARKING REQUIREMENTS
- PARKING ENTRANCES SHOULD BE ACCESSED FROM SECONDARY ROADS, WHEN POSSIBLE
- SIDEWALK PARKING SHALL NOT BE VISIBLE FROM STREETS OR PUBLIC SPACES A 6FT FENCE, A HEDGE OR A WALL SHALL BE PLACED ALONG REQUIRED FRONTAGE LINE

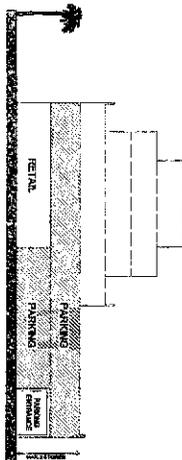
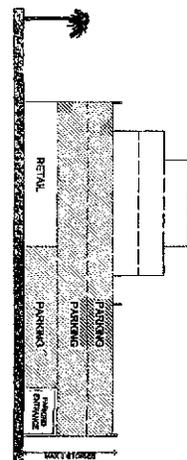
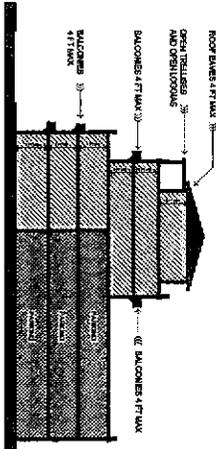
BUILDING USE



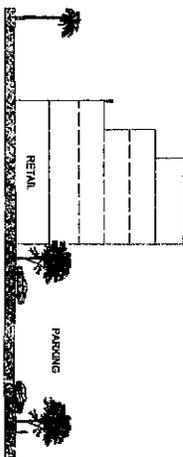
BUILDING HEIGHT



ENCROACHMENTS

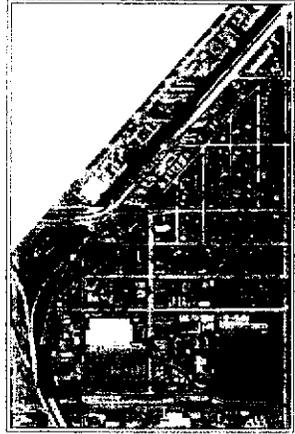


PARKING



AREA 3 - SE 8TH STREET

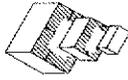
FRONTAGE LOCATION



NOTES

BUILDING USE

- NON-RESIDENTIAL SPACES MIN 12 FT FINISHED FLOOR TO FINISHED CEILING.
- RESIDENTIAL SPACES MIN 9 FT FINISHED FLOOR TO FINISHED CEILING.
- ADJUTARY SPACES EXCEPT FROM FLOOR HEIGHT REQUIREMENTS (E.G. BATHROOMS, KITCHENS, CLOSETS, ETC.)
- ADDITIONAL SETBACKS SHALL APPLY TO ALL FRONT, LATERAL AND REAR SETBACKS.



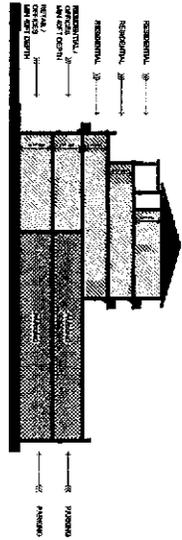
ENCROACHMENTS

- AWNINGS MUST HAVE A DISHED DESIGN AND SHALL ENCLOSE A MAX OF 4 FT.
- BALCONIES SHALL NOT BE BOOMED, TRAILERS AS PART OF AN DISHED DESIGN ARE ALLOWED.

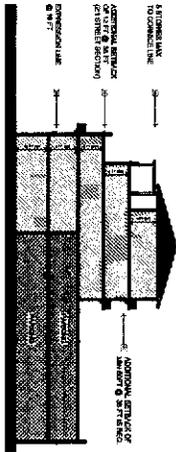
PARKING

- NO PARKING ALLOWED ON FRONT OR LATERAL SETBACK.
- SHOULD THE PROJECT NOT COMPLY WITH THE CITY'S PARKING REQUIREMENTS THE PROJECT SHALL BE REQUIRED TO PROVIDE PARKING SPACES FOR EACH PARKING SPACE MISSING SHOULD BE PAID BEFORE A FINAL BUILDING PERMIT IS ISSUED BY THE CITY OF HALLEBAH, AFTER A PARKING VARIANCE IS APPROVED.
- THE PAVING OF THE PARKING GARAGE SHALL HAVE A RATIO OF 70% SOLID TO VOID WITH APPROVED ARCHITECTURAL EXPRESSIONS.
- SEE URBAN DESIGN & ZONING PARKING REQUIREMENTS.
- PARKING ENTRANCES SHOULD BE ACCESSIBLE FROM SECONDARY ROADS, WHEN POSSIBLE.
- SURFACE PARKING SHALL NOT BE VISIBLE FROM STREETS OR PUBLIC SPACES. A 6 FT BENCH, A HEDGE OR A WALL SHALL BE PLACED ALONG REQUIRED FRONTAGE LINE.

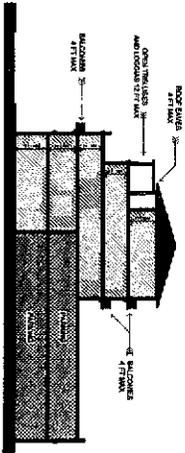
BUILDING USE



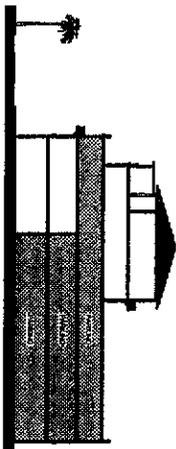
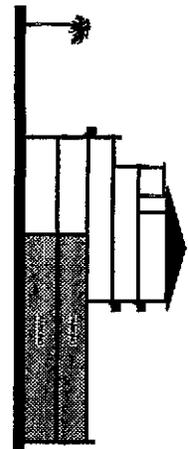
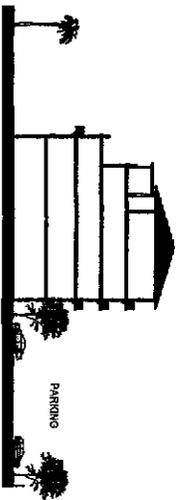
BUILDING HEIGHT



ENCROACHMENTS



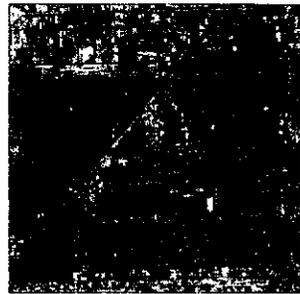
PARKING



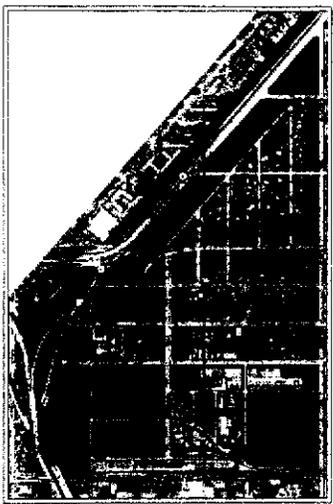
AREA 3

AREA DESCRIPTION

SHALL COMPRISE THE AREA HAVING SE 8TH STREET AS THE NORTHERNMOST BOUNDARY WITH EAST OKEECHOBEE ROAD AND SE 112 AS THE SOUTHERNMOST BOUNDARY, AND, WITH SE 11TH AVE AS THE EASTERNMOST BOUNDARY AND EAST 4TH AVE AS THE WESTERMOST BOUNDARY



GENERAL FRONTAGES

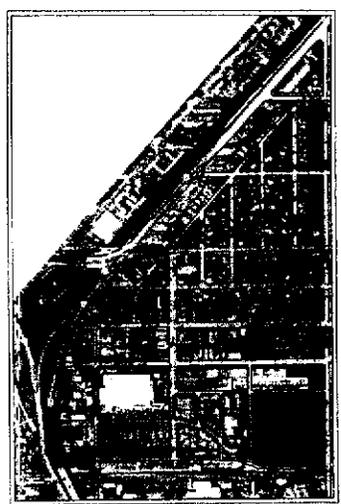


NOTES

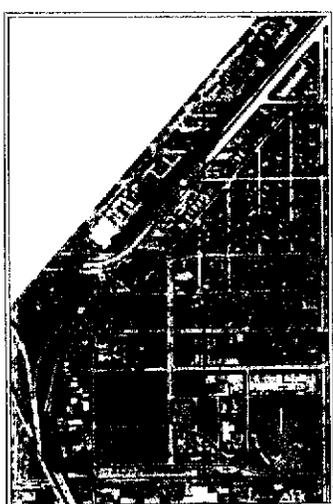
SEE EXHIBIT A FOR COORDINATES FOR BOUNDARY POINTS AND DISTANCE MEASUREMENTS
SEE EXHIBIT B FOR ADDITIONAL SERVICES

FRONTAGE LOCATION

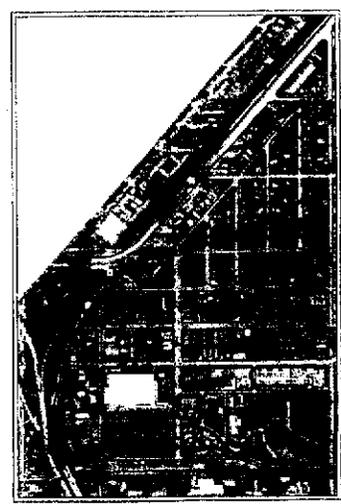
SE 8TH STREET:



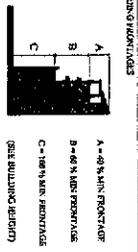
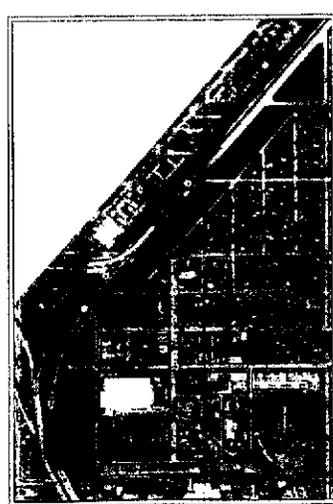
SE 12TH STREET:



SE 8TH AVE:



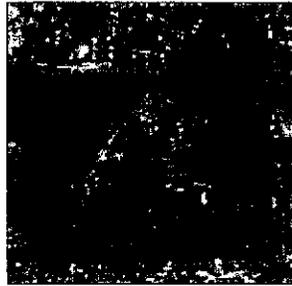
EAST OKEECHOBEE ROAD:



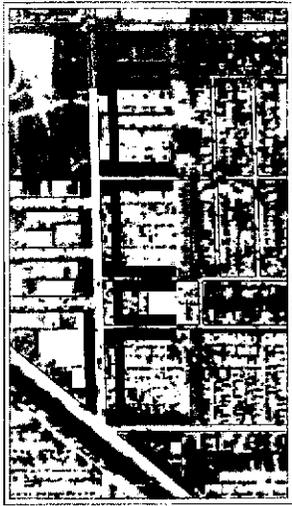
AREA 4

AREA DESCRIPTION

SHALL COMPRISE THE PROPERTIES LOCATED ON THE EAST SIDE OF WEST 10TH AVE WITH WEST 37TH STREET AS THE NORTHERNMOST BOUNDARY, WEST OKEECHOBEE ROAD AS THE SOUTHERNMOST BOUNDARY, AND WEST 15TH AVE AS ITS WESTERNMOST BOUNDARY

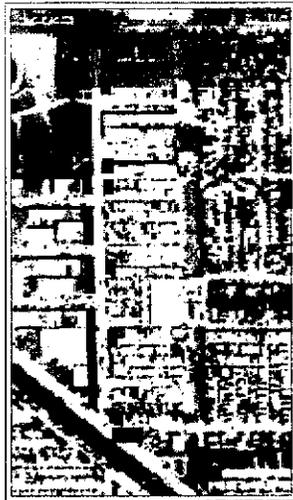


GENERAL FRONTAGES



FRONTAGE LOCATION

ARCADED STREET FRONTAGE:



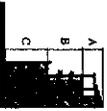
NON-ARCADED STREET FRONTAGE:



NOTES

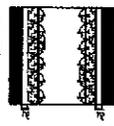
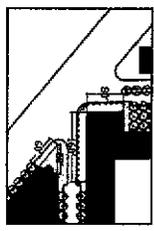
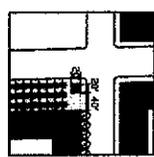
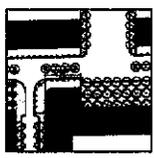
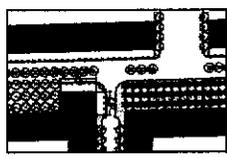
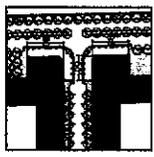
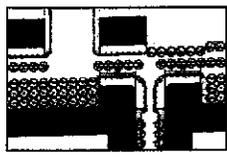
SEE FRONTAGE CONTROLS FOR GENERAL FLOOR SETBACKS (IN CL) TO LIMIT OCCUPANCIES
SEE BUILDING HEIGHT FOR ADDITIONAL SETBACKS

BUILDING FRONTAGES



- A = 40' MAIN FRONTAGE
 - B = 60' MAIN FRONTAGE
 - C = 100' MAIN FRONTAGE
- SEE BUILDING HEIGHTS

AREA 4 - SPECIAL CONDITIONS

MID-BLOCK SECONDARY ST	W 16TH AVE MID-BLOCK	ENTRANCE	PALM COURT INTERSECTIONS	TYPICAL INTERSECTIONS
 <p>LOCATION: 1. All mid-block secondary streets - 12 ft front setback and a 6 ft lateral setback.</p>	 <p>LOCATION: 1. All mid-block secondary streets on the east side of W 16th Ave have a 60 foot front setback.</p>  <p>LOCATION: 1. All mid-block secondary streets on the west side of W 16th Ave (between 27th and 29th St) have a 60 foot front setback.</p>	 <p>LOCATION: 1. W. 16th Ave & W 20th St</p>  <p>LOCATION: 1. W. 16th Ave & W 27th St</p>	 <p>LOCATION: 1. W. 16th Ave between W 22nd St & W 22nd St</p>  <p>LOCATION: 1. W. 16th Ave between W 31st St & W 31st St</p>	 <p>LOCATION: 1. W. 16th Ave & W 29th St</p>  <p>LOCATION: 1. W. 16th Ave & W 24th St</p>

SEE BUILDING HEIGHT FOR ADDITIONAL SETBACKS.
A MAX OF 50% THE REQUIRED FRONT & LATERAL SETBACKS MAY BE ENCROACHED IN ALL CORNER CONDITIONS.

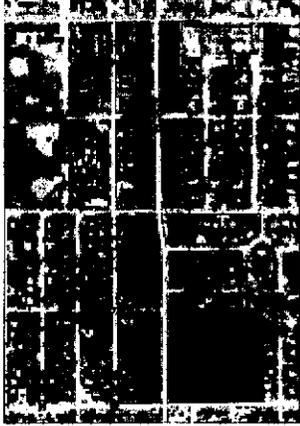
AREA 5

AREA DESCRIPTION

SHALL COMPRISE THE PROPERTIES
LOCATED ON THE NORTH AND
SOUTH SIDES OF EAST 9TH ST
BETWEEN EAST 4TH AVE AND EAST
8TH AVE



GENERAL FRONTAGES

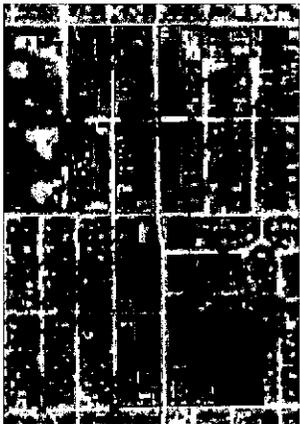


FRONTAGE LOCATION

ARCADED
STREET
FRONTAGE:



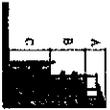
NON-ARCADED
STREET
FRONTAGE:



NOTES

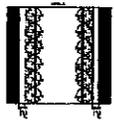
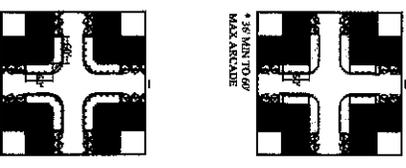
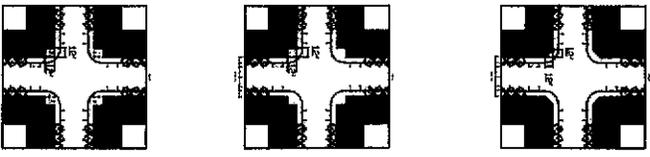
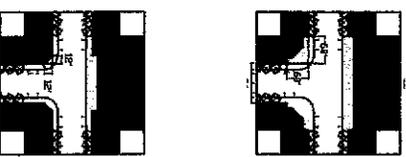
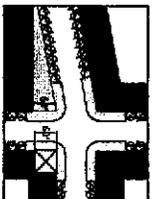
SEE FRONTAGE CONDITIONS FOR ADDITIONAL BLOCK DETAILS. FULLY TO LINE REQUIREMENTS
SEE BUILDING HEIGHT FOR ADDITIONAL DETAILS

BUILDING FRONTAGES



A - 40' MIN FRONTAGE
B - 40' MIN FRONTAGE
C - 100' MIN FRONTAGE
(SEE BUILDING HEIGHT)

AREA 5 - SPECIAL CONDITIONS

MID-BLOCK	ENTRANCE	CORNER	T-STREET	TOWER / BUILDING SETBACK
 <p>LOCATION: 1. All mid block locations - 12 ft from lateral setback.</p>	 <p>1. 12 ft setback MAX. setback</p> <p>2. 12 ft setback MAX. setback</p> <p>LOCATION: 1. 12 ft setback from street 2. 12 ft setback from building</p>	 <p>1. 12 ft setback MAX. setback</p> <p>2. 12 ft setback MAX. setback</p> <p>LOCATION: 1. 12 ft setback from street 2. 12 ft setback from building</p>	 <p>1. 12 ft setback MAX. setback</p> <p>2. 12 ft setback MAX. setback</p> <p>LOCATION: 1. 12 ft setback from street 2. 12 ft setback from building</p>	 <p>LOCATION: 1. 12 ft setback from street 2. 12 ft setback from building</p>

-SEE BUILDING HEIGHT FOR ADDITIONAL SETBACKS.
-A MAX OF 50% THE REQUIRED FRONT & LATERAL SETBACKS MAY BE ENCROACHED IN ALL CORNER CONDITIONS.

GENERAL GUIDELINES

GENERAL NOTES AND ARCHITECTURAL GUIDELINES

ARCHITECTURAL

- 1. WALLS**
- enclosing windows, doors, screens and trim. These materials shall be specified in the building code and shall be consistent on all elevations of the building. Materials used to enclose other materials shall meet the same standards as those specified in the building code and shall be consistent on all elevations of the building. Materials used to enclose other materials shall meet the same standards as those specified in the building code and shall be consistent on all elevations of the building.
 - Columns and posts shall be made of wood, stone, masonry, concrete, or metal. Columns and posts shall be made of wood, stone, masonry, concrete, or metal. Columns and posts shall be made of wood, stone, masonry, concrete, or metal.
 - Columns and posts shall be made of wood, stone, masonry, concrete, or metal. Columns and posts shall be made of wood, stone, masonry, concrete, or metal.
 - Columns and posts shall be made of wood, stone, masonry, concrete, or metal. Columns and posts shall be made of wood, stone, masonry, concrete, or metal.

2. ATTACHMENTS

- Attachments shall be made of wood, stone, masonry, concrete, or metal. Attachments shall be made of wood, stone, masonry, concrete, or metal.
- Attachments shall be made of wood, stone, masonry, concrete, or metal. Attachments shall be made of wood, stone, masonry, concrete, or metal.
- Attachments shall be made of wood, stone, masonry, concrete, or metal. Attachments shall be made of wood, stone, masonry, concrete, or metal.
- Attachments shall be made of wood, stone, masonry, concrete, or metal. Attachments shall be made of wood, stone, masonry, concrete, or metal.

3. ROOFS

- Roofs shall be made of wood, stone, masonry, concrete, or metal. Roofs shall be made of wood, stone, masonry, concrete, or metal.
- Roofs shall be made of wood, stone, masonry, concrete, or metal. Roofs shall be made of wood, stone, masonry, concrete, or metal.
- Roofs shall be made of wood, stone, masonry, concrete, or metal. Roofs shall be made of wood, stone, masonry, concrete, or metal.
- Roofs shall be made of wood, stone, masonry, concrete, or metal. Roofs shall be made of wood, stone, masonry, concrete, or metal.

4. OPENINGS

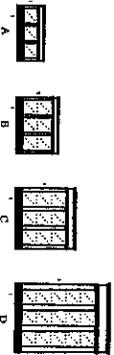
- Windows shall be made of wood, stone, masonry, concrete, or metal. Windows shall be made of wood, stone, masonry, concrete, or metal.
- Windows shall be made of wood, stone, masonry, concrete, or metal. Windows shall be made of wood, stone, masonry, concrete, or metal.
- Windows shall be made of wood, stone, masonry, concrete, or metal. Windows shall be made of wood, stone, masonry, concrete, or metal.
- Windows shall be made of wood, stone, masonry, concrete, or metal. Windows shall be made of wood, stone, masonry, concrete, or metal.

5. GENERAL NOTES:

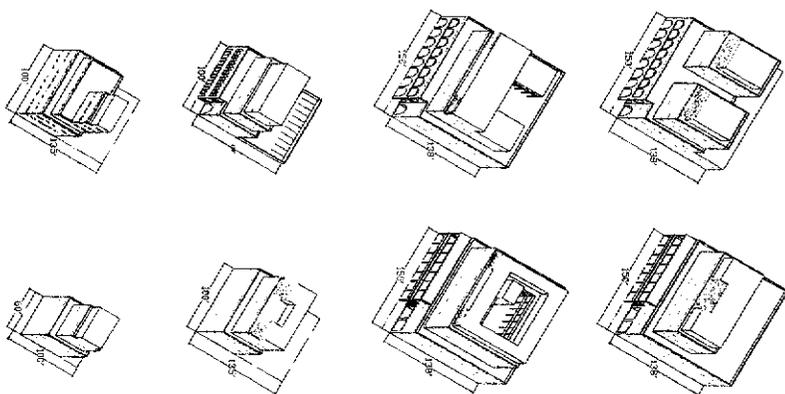
- General notes shall be made of wood, stone, masonry, concrete, or metal. General notes shall be made of wood, stone, masonry, concrete, or metal.
- General notes shall be made of wood, stone, masonry, concrete, or metal. General notes shall be made of wood, stone, masonry, concrete, or metal.
- General notes shall be made of wood, stone, masonry, concrete, or metal. General notes shall be made of wood, stone, masonry, concrete, or metal.
- General notes shall be made of wood, stone, masonry, concrete, or metal. General notes shall be made of wood, stone, masonry, concrete, or metal.

COLLAPSE AND RISKS

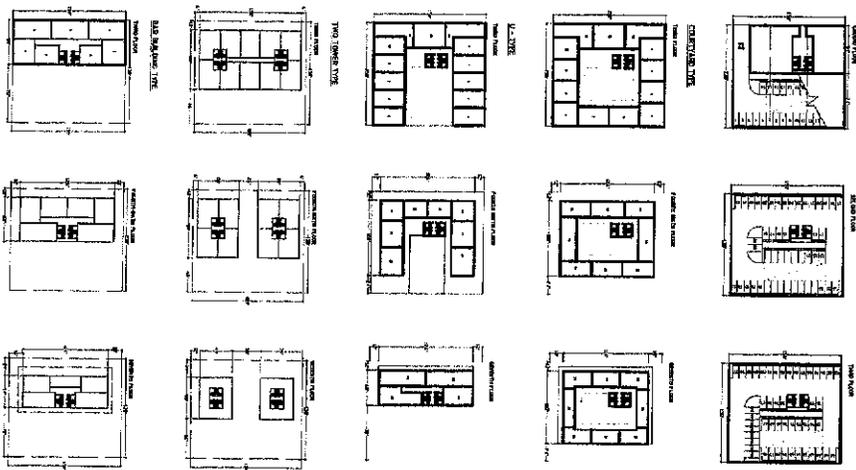
- A = 1:1
- B = 2:1
- C = 3:1
- D = 4:1



BUILDING TYPES



TYPICAL FLOOR PLANS

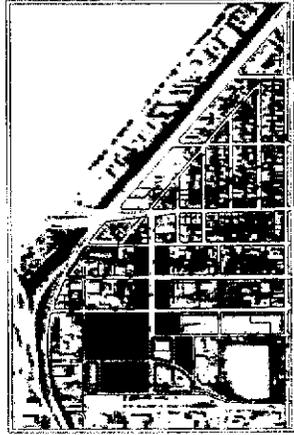


TYPICAL BUILDING TYPES AND RISK LEVELS ARE SHOWN FOR APPROXIMATE RISK LEVELS. ACTUAL RISK LEVELS MAY VARY. RISK LEVELS ARE BASED ON BUILDING TYPE AND RISK LEVELS MAY VARY.

DESIGNERS ARE TAKEN FOR THE PURPOSE OF CODE COMPLIANCE. THESE ARE NOT ARCHITECTURAL DESIGNS.

AREA 3 - SE 12TH STREET

FRONTAGE LOCATION



NOTES

BUILDING USE

- NON-RESIDENTIAL SPACES MAY BE FINISHED FLOOR TO FINISHED CEILING.
- RESIDENTIAL SPACES MAY BE FINISHED FLOOR TO FINISHED CEILING.
- ADDITIONAL SPACES EXCEPT FROM FLOOR HEIGHT REQUIREMENTS (E.G. BATHROOMS, KITCHENS, CLOSETS, ETC.)
- ADDITIONAL SETBACKS SHALL APPLY TO ALL FRONT, LATERAL AND REAR SETBACKS.



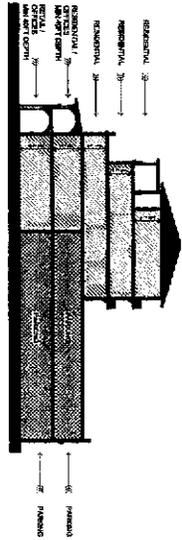
ENCROACHMENTS

- AWNINGS MUST HAVE A UNIFRONT DESIGN AND SHALL ENDOACH A MAX. OF 4 FT.
- SIGNAGES SHALL NOT BE ROOFED, THEREIS AS PART OF AN UNIFRONT DESIGN ARE ALLOWED.

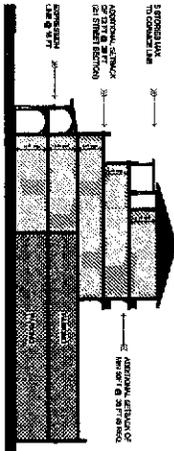
PARKING

- NO PARKING ALLOWED ON FRONT OR LATERAL SETBACK.
- SHOULD THE PROJECT NOT COMPLY WITH THE CITY'S PARKING REQUIREMENTS FOR MIXED USE BUILDINGS, A DEVELOPER MAY BE REQUIRED TO PROVIDE FOR ADDITIONAL PARKING SPACES. THESE SPACES SHOULD BE PROVIDED IN ACCORDANCE WITH THE CITY OF HOUSTON, AS PER A PARKING VARIANCE IS APPROVED.
- THE FACADE OF THE PARKING GARAGE SHALL HAVE A RATIO OF 70% SOLID TO VOID WITH APPROVED ARCHITECTURAL EXPRESSIONS.
- SEE URBAN DESIGN & ZONING PARKING REQUIREMENTS.
- PARKING ENTRANCES SHOULD BE ACCESSED FROM SECONDARY ROADS, WHEN POSSIBLE.
- SURFACE PARKING SHALL NOT BE VISIBLE FROM STREETS OR PUBLIC SPACES. A SETBACK, A HEDGE OR A WALL SHALL BE PLACED ALONG REQUIRED REDLINE LINE.

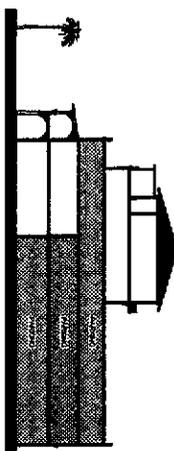
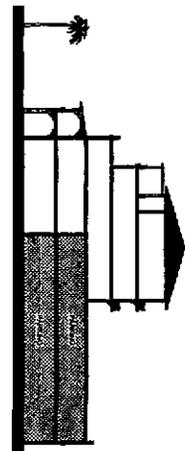
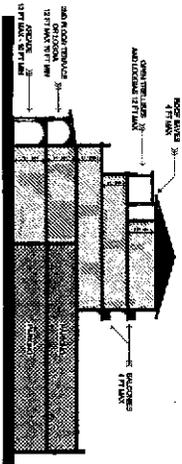
BUILDING USE



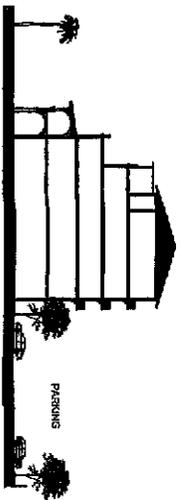
BUILDING HEIGHT



ENCROACHMENTS

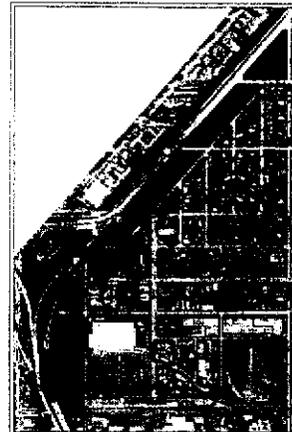


PARKING



AREA 3 - EAST OKEECHOBEE ROAD

FRONTAGE LOCATION



NOTES

BUILDING USE

- NON-RESIDENTIAL SPACES MIN 12 FT FINISHED FLOOR TO FINISHED CEILING.
- RESIDENTIAL SPACES MIN 9 FT FINISHED FLOOR TO FINISHED CEILING.
- ADJUTORY SPACES EXCEPT FROM FLOOR HEIGHT REQUIREMENTS (I.E. BATHROOMS, KITCHENS, CLOSETS, ETC.)
- ADJUTORY SPACES SHALL APPLY TO ALL FRONT, LATERAL AND REAR SETBACKS.



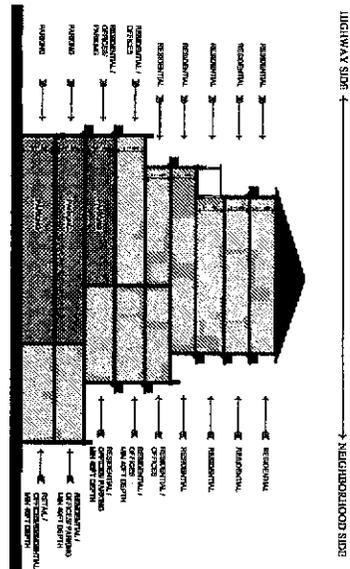
ENCROACHMENTS

- AWNINGS MUST HAVE A LIMITED DESIGN AND SHALL ENVOACH A MAX OF 4 FT.
- BALCONIES SHALL NOT BE ROOFED, TRELLISES AS PART OF AN UNIFIED DESIGN ARE ALLOWED.

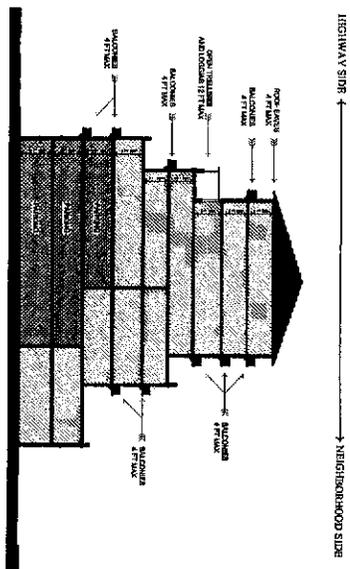
PARKING

- NO PARKING ALLOWED ON FRONT OR LATERAL SETBACK.
- SHOULD THE PROJECT NOT COMPLY WITH THE CITY'S PARKING REQUIREMENTS FOR MIXED USE BUILDINGS, A DEVELOPMENT FEE EQUIVALENT TO \$12,000 FOR EACH SPACE MUST BE PAID TO THE CITY OF PALM BEACH. THE FEE MUST BE PAID TO THE CITY OF PALM BEACH, AFTER A PARKING PLAN HAS BEEN APPROVED.
- THE FACADE OF THE PARKING GARAGE SHALL HAVE A RATIO OF 70% SOLID TO VOID WITH APPROVED ARCHITECTURAL EXPRESSIONS.
- SEE URBAN DESIGN & ZONING PARKING REQUIREMENTS.
- PARKING ENTRANCES SHOULD BE ACCESSED FROM SECONDARY ROADS, WHEN POSSIBLE.
- SURFACE PARKING SHALL NOT BE VISIBLE FROM STREETS OR PUBLIC SPACES. A 6 FT FENCE, A HEDGE OR A WALL SHALL BE PLACED ALONG REQUIRED FRONTAGE LINE.

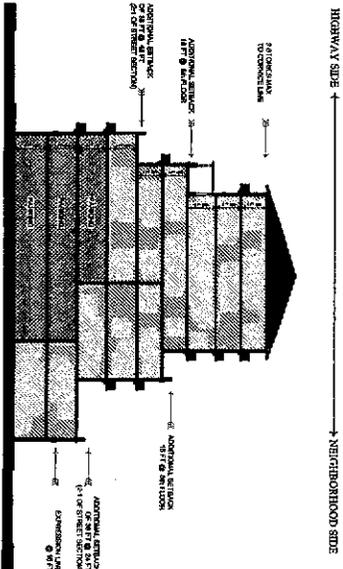
BUILDING USE



ENCROACHMENTS



BUILDING HEIGHT



PARKING

